



# ELBOW VALLEY DESIGN GUIDELINES

# TABLE OF CONTENTS

Introduction .....	1
The Plan Approval Process .....	4
Introduction .....	5
Step 1: Learn about Elbow Valley .....	5
Step 2: Select Your Home site .....	5
Step 3: Get to Know Your Home site.....	5
Step 4: Select Your Home Design and Construction Team .....	5
Step 5: Obtain a Property Survey.....	6
Step 6: Meet With the Design Team .....	7
Step 7: Develop Conceptual Drawings.....	7
Step 8: Concept Design Review.....	8
Step 9: Design Development.....	9
Step 10: Final Design Review .....	9
Step 11: Construction Documents Review.....	10
Step 12: Building Permit.....	10
Step 13: Build Your Home .....	10
Step 14: Change Orders .....	10
Step 15: Landscape Plan.....	11
Step 16: Final Inspections.....	11
Step 17: Move In .....	11
Site Planning Principles .....	12
Introduction.....	13
Development Zones .....	13
Get to Know Your Site .....	15
Site Planning Principles: An Overview.....	15
Site Planning Guidelines .....	17
Site Planning Criteria.....	18
Homestead Lands Design Guidelines .....	18
Wooded Highlands Design Guidelines .....	20
General Landscape Design Guidelines .....	21
Site Improvements.....	21
Access, Parking and Garages.....	21
Grading and Drainage .....	22
Landscaping and Vegetation .....	23
Site Features and Fixtures .....	25
Courts and Pools .....	26



Lighting.....	26
Garbage Storage .....	26
Panels and Meters.....	26
<b>Architectural Design Principles .....</b>	<b>27</b>
Introduction.....	28
Building in the Foothills: a Response to the Land .....	28
Design Principles – an Overview .....	30
Building Form: .....	30
The Long and the Short View .....	30
Proportion:.....	31
Materials and Details.....	32
What is Appropriate?.....	33
<b>Architectural Design Guidelines.....</b>	<b>34</b>
Building Form .....	35
Viewpoints .....	35
Variety .....	35
Plan .....	35
Proportion.....	36
Roofs .....	36
Foundation Facings .....	37
Porches .....	37
Walls and Openings .....	37
Garages.....	38
Chimneys .....	38
Materials .....	38
Details .....	41
Colours.....	41
<b>Recommended Reading .....</b>	<b>42</b>
<b>Appendices .....</b>	<b>45</b>
Appendix 1: Elbow Valley Plant List .....	46
Appendix 2: Restricted Plant List .....	48
Appendix 3: Design Approval Forms .....	50





# Introduction





Elbow Valley is a magnificent natural landscape. Located only minutes west of Calgary, it displays all of the untamed splendour of the Alberta foothills. Rolling open meadows are set against wooded slopes, and the intimate views of peaceful river valleys contrast with dramatic vistas of the hills and mountains.

In this extraordinary setting there is an opportunity to create a new community of rare quality. Drawing on the best traditions of architecture, and looking to the land itself for design inspiration - its forms, its colours, its plants and materials - it is possible to create a community in harmony with its natural setting. This is the opportunity and the challenge of Elbow Valley.

These Design Guidelines are intended to help all members of the Elbow Valley team - developer, builders and homeowners alike - to realize this opportunity. Our common goal is a community of lasting beauty.

The guidelines begin by setting out a process by which you, your architect or designer and your builder can work together with us through the design of your home and site –

identifying common goals, searching through options and arriving at a design of which we can all be proud.

Then we go on to discuss the principles which will guide new home designs at Elbow Valley. This booklet does not simply establish a restrictive set of rules. Rather, we go far beyond this to explain the fundamental principles of design - timeless concepts that have guided the best work by generations of architects. These discussions provide a context and basis of reason for the common development rules.

The guidelines are intended to achieve a balance. Common design elements on all properties will give a sense of unity to the community as a whole. On the other hand, great flexibility is allowed for innovation and creativity in individual homes.

We look forward to working with you toward bringing your visions to life, and toward realizing the marvellous potential of Elbow Valley.





# The Plan Approval Process



## Introduction

Meeting the challenge and realizing the outstanding potential of Elbow Valley will require co-operation and dedication by all of those involved - the owners, architects or designers, builders and the developer. All of these people must work together as a team - finding common goals, seeking common inspiration and exploring design options - to create harmonious and attractive homes.

The Manager of Urban Design and Architecture (Mgr. U.D.A.) and a Design Review Committee, all experienced and highly qualified professionals, will work with you through the design process. They are familiar with your site and will help you to tailor your home to its particular features.

The design process is a voyage of discovery – about the possibilities offered by the site, the options for the house itself and even about you and your family. We want to travel with you to ensure that we reach our common goal of a community distinguished by design excellence.

## Step 1: Learn About Elbow Valley

Drop in to our Sales & Information Centre and speak to one of our representatives. Learn about the fascinating history of the area, and discover its many beautiful features. Let us tell you about our concept for the Elbow Valley community - a community rooted in tradition and growing in harmony with the land. Then imagine your future here!

## Step 2: Select Your Homesite

See the many different types of lots available, each with its own particular advantages. The Homestead properties on the open meadowlands offer homesites on generous lots, ¼ to 1 acre in size, all with easy access to Elbow Valley's lakes and natural trails. On the higher benchlands to the south, the Wooded Highlands include acreages of 2 to 4 acres. Choose the property which best suits your needs. Then begin to picture your new home on the site.

## Step 3: Get to Know Your Homesite

Now begins one of the most exciting journeys of your life – the design of your new home. Start by experiencing the site itself. Visit it often, in all different conditions. Walk its meadows and wooded trails. Shoot photographs, draw pictures and have picnics on your lot. Learn its contours, colours, textures and moods, and think about what these offer as clues for the design of your new home.

## Step 4: Select Your Home Design and Construction Team

On a journey as important as this one, you will need to work with people of imagination and skill. Your design team must understand your needs and share your visions and aspirations, and they must have the creativity and skill to translate them into reality.





There are two common routes to new home production:

1. You may approach a custom homebuilding company that will undertake both the design and construction of the home.
2. Alternatively, you may engage an architect or home designer directly to do a custom design. Once you approve the design, the design consultant will help you to select a building contractor. You then enter into a separate contract with the builder to build the home.

There are advantages to both of these routes, and you are encouraged to investigate them thoroughly before proceeding. Whichever you choose, your team should include:

- An architect or designer (either hired separately or a member of the builder's team) to help you identify your specific needs and then shape them into a home;
- A landscape architect to analyze the site and design the outdoor spaces in conjunction with the architecture; and
- A builder to take the designs and build them soundly and economically.

It is important that you meet all of these parties beforehand and be sure that you will be able to work well together.

As you become more familiar with Elbow Valley, you will realize how important it is to have a custom design for your home. A ready-made or "off-the shelf" design will likely not be appropriate.

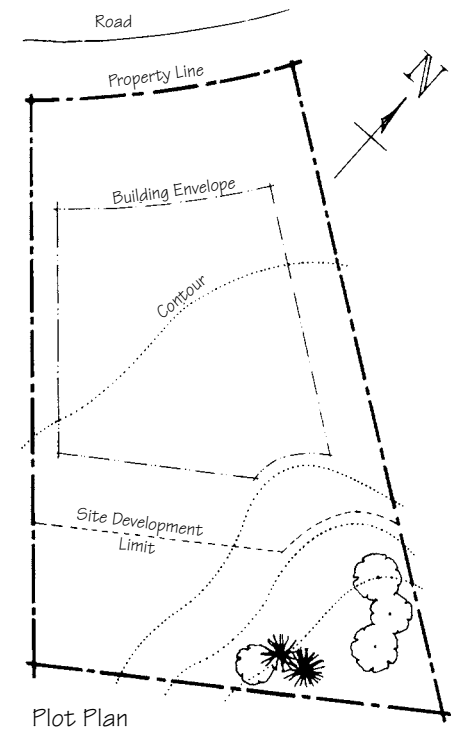
A house designed for Cape Cod or California would be out of place in this landscape, at least without substantial changes. Even a design for another lot may well be unsuitable, because the footprint may not fit comfortably on the site, the outdoor spaces may be oriented the wrong way, the roof slopes may not fit or the materials may be wrong.

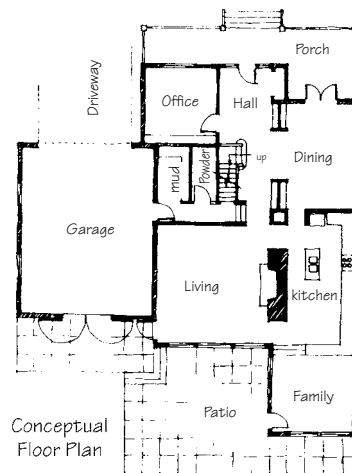
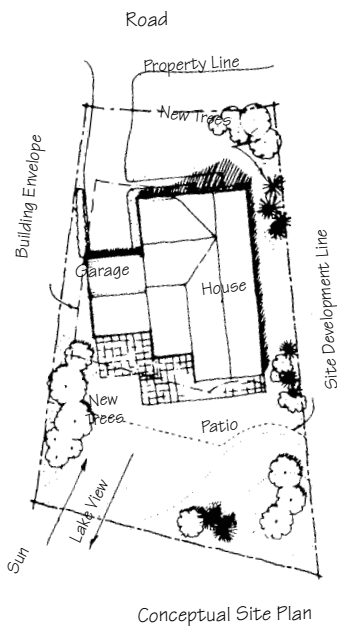
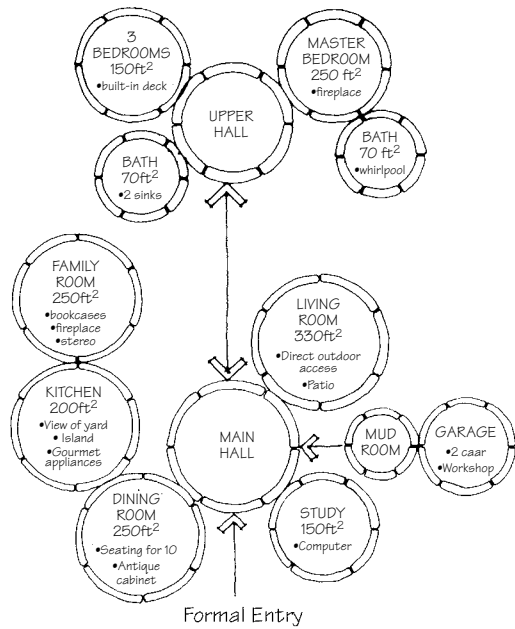
When you have made your selection, sign contracts with your home design and construction team. Please note that the Elbow Valley Construction Regulations must be incorporated into the building contract, and the builder must submit a compliance deposit.

## Step 5: Obtain a Property Survey

Upon request Hopewell will provide you with a plot plan of the site at a scale of 1:250 (Wooded Highlands) or 1:200 (Homesteads) showing the following:

- Property lines with dimensions,
- Site and building envelope limits,
- Contours at max. 1 m. (3 ft.) intervals,
- Trees and shrubs (identified by aerial photographs),
- Streams or ponds (identified by aerial photographs),
- Existing and proposed utility lines and connection locations,
- Existing and proposed roads, and
- Driveway location.





## Step 6: Meet With the Design Team

Now the real fun begins - designing your home! First, work with the architect or designer to establish a program. This is a list of rooms and outdoor spaces your home will include, together with details as to their sizes, the furniture and equipment they will hold and, equally importantly, the relationships among them.

Visit the site together and imagine how the various parts of the house will fit. What view would you like to have from the living room window? How can you catch the morning sun for a breakfast nook, and the afternoon sun for an outdoor patio? Begin to picture how the new home and the site can be formed into a unified whole.

Before design begins, please review these guidelines fully with your architect or designer to appreciate the Elbow Valley philosophy and how it applies to your individual property. Should you have any questions, the Mgr. U.D.A. will be happy to answer them.

## Step 7: Develop Conceptual Drawings

Your architect or designer, working closely with you, will begin to give shape to your ideas and aspirations. The rooms and spaces of your home, until now only notes in the building program, will be located on the site and enclosed with walls and roofs. You should consider various options and choose the one which best suits your needs and takes the best possible advantage of your particular site. Gather pictures of homes and examples of home details that capture your imagination. These photos will help your designer to understand the vision for your new home.

As the concept design evolves, imagine yourself actually living in the house, so that you can be sure that the fit is right. The designer will develop architectural sketches or a rough model to illustrate the concept.



## Step 8: Concept Design Review

Once you are satisfied with the preliminary concept design, you will submit illustrative materials to the Mgr. U.D.A. for the initial Concept Review. The Manager will present the design to the Design Review Committee, who will examine it to ensure that it is in keeping with the overall design philosophy of Elbow Valley, as set out in these Guidelines.

Please note that technical compliance with the fixed rules in these design guidelines does not guarantee approval. Our goal in Elbow Valley is a consistently high level of design quality, and the committee retains the right at any stage of the design review to require further design explorations to achieve a more appropriate solution. They will consider both the letter and the spirit of the guidelines.



*Conceptual perspective sketch*

### Required information – Concept Design Review:

- Completed Concept Design Review form from Appendix 3;
- Conceptual Site Plan at the specified scale and showing all of the information listed on the Concept Design Review application form;
- Schematic Roof Plan detailing chimney locations;
- Schematic Floor Plans for all levels;
- Schematic Elevations for all four sides;
- A perspective sketch of the most prominent view (this may be freehand), and
- If required by the Committee, additional perspective sketches or a site massing model showing the overall shape of the proposed home and its relationship to the landforms, trees and new landscaping.

For Wooded Highlands sites, owners may meet the Mgr. U.D.A. on site, with the materials listed above. The site must be staked in advance by the builder or a surveyor to show the extent of the proposed home, accessory buildings and structures such as walls, terraces and play areas.

Please submit all required information for review at least one week prior to the weekly design review meeting. Following the review, the committee's comments will be returned within one week. If it is approved, you may proceed to design development.

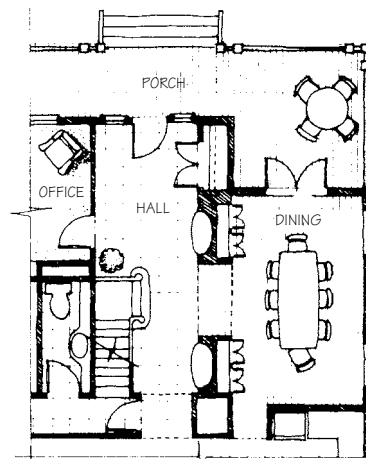


## Step 9: Design Development

Following the initial design review, you should continue to work with the architect or designer to refine the design, taking into account the comments from the Concept Review. The exterior and all of the rooms inside must be developed in detail. By this stage you should also have preliminary cost estimates from the builder.

## Step 10: Final Design Review

Once you are satisfied with your final design, you will submit the required information to the Mgr. U.D.A. for Final Design Review. The Manager will present your materials to the Committee for review. The purpose will be to ensure that the design has been developed in keeping with the original concept (as approved in the Concept Review) and still meets the Design Guidelines.



Design development  
Plan

### Required information – Final Design Review

- Completed Final Design Review form from Appendix 3;
- Site Plan with the information listed in the Application for Final Design Review, and based on the plot plan provided by Hopewell;
- All Floor Plans;
- A Roof Plan detailing chimney locations;
- Four Elevations;
- Two typical Building Sections (minimum);
- A perspective sketch of the primary view;
- If required by the Committee, additional perspective sketches or a model showing the final design, including windows and doors, roof overhangs, porches, site improvements, trees and new landscaping;

Please submit all required information for review at least one week prior to the weekly design review meeting. Following the review, the committee's comments will be returned within one week. If it is approved, you may proceed to construction document preparation.



## Step 11: Construction Documents Review

The design of your home is now complete. Now the designer will prepare construction drawings (blueprints) and specifications which the builder will use for construction. When these are finished, they must be submitted to the Mgr. U.D.A., who will check to ensure that the documents faithfully execute the approved design. If so, a Grade Slip will be issued authorizing the builder to proceed.

Required information:

- Completed Construction Documents Review form from Appendix 3;
- A \$10,000 construction compliance deposit;
- A \$2,500 landscape compliance deposit;
- The builder's Certificate of Insurance.
- Updated Site Plan including the information listed in the application form, and showing building corner points and proposed tops of footings and joists;
- Construction drawings;
- A completed Proposed Exterior Materials and colours form
- Materials and Colour Samples.

## Step 12: Building Permit

You may now submit your approved drawings to the municipality for a building permit. Officials will check for compliance with the Alberta Building Code and all municipal regulations.

## Step 13: Build Your Home

Now you will see your dream take shape. We encourage you to visit the site often to follow the progress of your new home. Please take the time to become familiar with the Elbow Valley Purchaser Handbook, and meet with your builder to discuss their application to your particular site. This will ensure the protection of your part of this beautiful natural landscape.

During construction, periodic inspections will be made to check on compliance with the approved specifications and the construction regulations outlined in The Purchaser Handbook.

## Step 14: Change Orders

If changes to the approved design must be made at this stage, complete drawings and specifications showing the proposed changes must be submitted to the Design Review Committee for approval.



## Step 15: Landscape Plan

Prior to landscaping homeowners are requested to submit a detailed home site landscape plan to the Landscape Design Review Committee for approval. To assist homeowners with this process, several Landscape Architects have been selected to provide each homeowner with a homesite concept plan that is required for approval through the committee.

Specifically, each Landscape Architect has been commissioned by Elbow Valley Joint Venture to provide homeowners with 2 hours of landscaping consultation and a concept plan addressing homesite grading, planting, and storm water management at no charge. Additional construction drawings, construction quotations and supervision may be requested from these firms at the homeowner's expense.

Drop in to our Sales & Information Centre and speak to one of our representatives to learn more about the Elbow Valley Landscape Program.

## Step 16: Final Inspections

A final architectural inspection is required to ensure that your home has been built according to the approved design and specifications. Once your

home and driveway is complete, please submit a written request for Final Architectural Inspection Request to the Mgr. U.D.A.. Written confirmation of architectural inspection will be returned within 30 days of the initial inspection request. Provided there are no architectural deviations from the approved drawings, the construction Compliance Deposit will be released at this time.

A final landscape inspection is required to ensure that home site landscaping is completed according to the approved design and specifications. Once your home site landscaping is complete, please submit a written request for Final Landscape Inspection to the Mgr. U.D.A.. Written confirmation of landscape inspection will be returned within 30 days of the initial inspection request. Provided there are no deviations from the approved drawings, the Landscape Compliance Deposit will be released at this time.

PLEASE NOTE: Final Landscape Inspections will be conducted between May and October, weather permitting.

## Step 17: Move In

Congratulations! Move in and enjoy your new life in beautiful Elbow Valley.





# Site Planning Principles



## Introduction

Elbow Valley is a property of remarkable natural beauty. Located just west of Calgary, it displays all of the splendour of the Alberta foothills. It is a landscape of dramatic contrasts. From the boisterous Elbow River, rolling meadows stretch south to peaceful Lott Creek, then the land rises through wooded hills to broad open uplands. Views change constantly, from the intimate setting of the river valley to sweeping vistas of hills and mountains.

A palette of subtle greens, greys and browns is enlivened by brilliant splashes of colour when the wildflowers bloom, and when the leaves change in fall.

Elbow Valley is a mosaic of natural plant communities. Aspen, balsam poplar, white spruce, chokecherry, saskatoon, rose, buckbrush and willow occupy moist habitats on north facing slopes and in the river valley, while such species as rough fescue, oat grass, june grass, spear grass, sticky geranium and northern bedstraw are common in drier grassland areas. The transition from forest to river valley to grassland provides a broad diversity of habitats for many wildlife species. The woodlands and scrub willow lands are home to a variety of breeding birds and small mammals, which use the area for food and nesting cover. The Elbow Valley lands provide feeding and resting habitat for ungulates such as white-tailed and mule deer who also use the slopes south of Lott Creek.

This powerful landscape has the potential to inspire a unique community, designed to preserve and complement the natural charm of the landscape.

These guidelines are designed to facilitate that process - to help owners realize the full potential of the landscape, and create new homesteads in harmony with the land.

## Development Zones

There are two distinct landscape zones in Elbow Valley where homes will be built:

**Homestead Lands:** The meadows in the lower areas of the property, rising from the banks of Lott Creek, and the upper lands to the north and west comprise the Homestead Lands. These are characterized by gently rolling terrain covered by grasses and shrubs, with some mature stands of aspen trees.

**Wooded Highlands:** The irregular, sculpted slopes rising from the Lott Creek valley, and the benchlands above, have quite a different character. The slopes are mostly covered by dense stands of willow, spruce and aspen. Beyond the crest, the upper slopes are rolling, with groups of trees scattered through more open areas of grass and brush. The larger building parcels are located here.







Each of these zones has its own set of development guidelines, suited to the particular characteristics of the landscape. These guidelines are intended to conserve the special attributes of each site and to integrate the design of the house with the design of the landscape for the enhancement of both. It is only through a diligent design effort that the man-made elements will become a visual asset to the natural landscape.

## Get to Know Your Site

Before you begin to design your home, take some time to become familiar with your land. Walk around it often. Shoot photos and have picnics. Look at the plants and the soil. Take in the views, and even stand on a ladder to find what you could see from an upper floor.

## Site Planning Principles: An Overview

Among the most important decisions you will make in designing your new home come right at the beginning, in deciding where the building will be located on the site, and how it will be shaped to fit both its surroundings and your needs. Thoughtful choices at this stage will not only make the home more attractive, but, more importantly, will enhance your enjoyment and use in the years to come. For example, wings of the house may be arranged around an outdoor terrace. If this is oriented toward the afternoon sun and sheltered by existing or newly planted trees, it will be pleasantly warm early in the spring and well into the fall. Further,

the house and trees may be used to frame dramatic views, seen from the terrace or through large windows from your favourite chair.

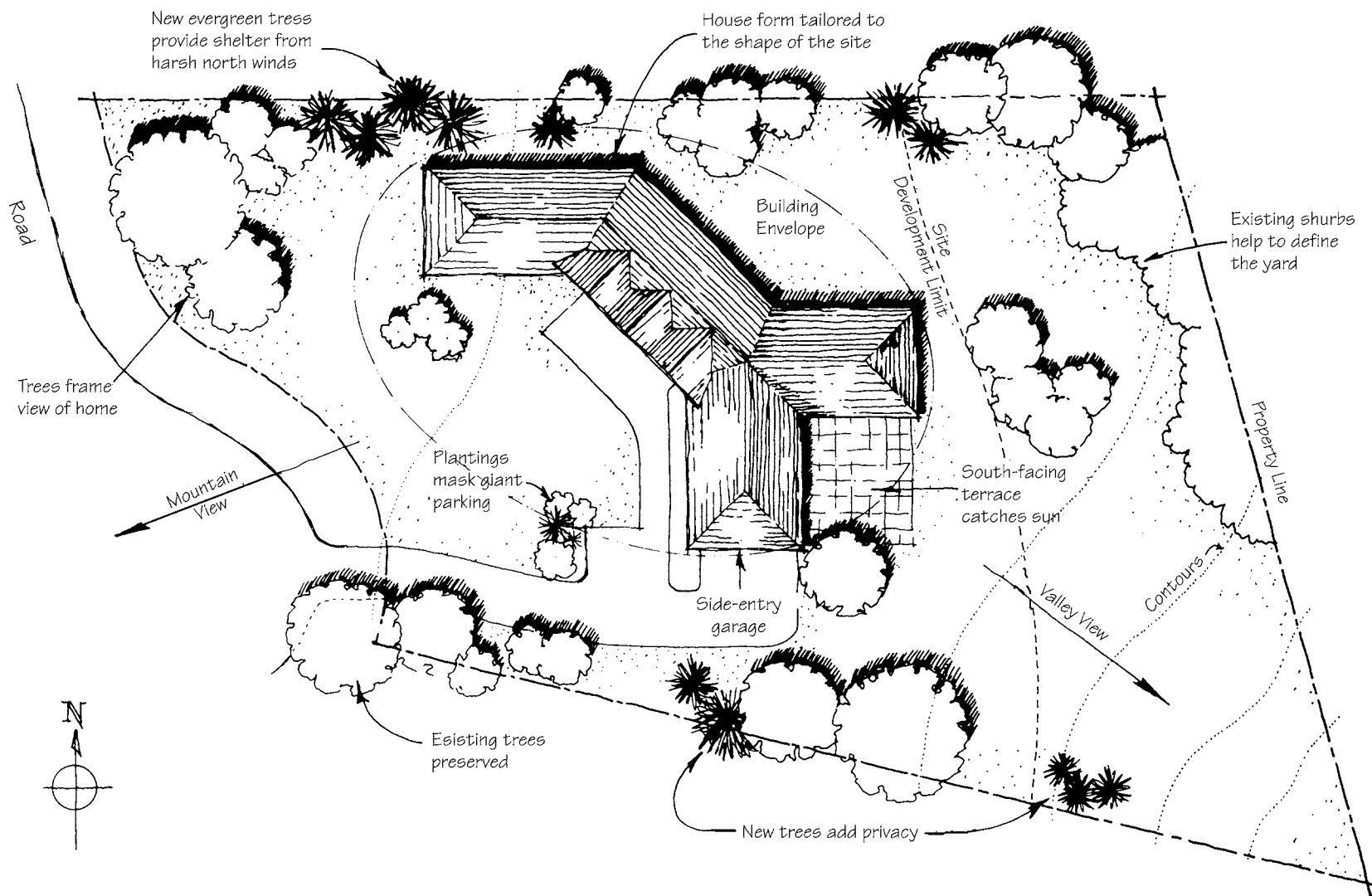
In making these choices with your architect or designer, you must think of your house and site together. The buildings, patios, walls and other improvements can be woven together with the landforms and vegetation into one integrated whole.

The home and landscape features should be located and oriented carefully on the site to:

- preserve the existing landforms, vegetation and drainage patterns,
- integrate the buildings and site improvements into the natural setting,
- take the best advantage of views and sunlight,
- achieve the proper balance of visibility and privacy,
- create sheltered, comfortable outdoor areas, usable through extended seasons by the use of land forms, buildings and plants, and
- retain excess storm water on site in ponds and natural features, thus protecting downstream drainage routes.

The siting of buildings is critical to the design success not only of individual homes, but to the neighbourhood as a whole. Sideyard setbacks and staggering of houses on adjacent lots can provide for privacy, separation and an improved streetscape.







# Site Planning Guidelines



## Site Planning Criteria

The intent in Elbow Valley is to preserve, as much as possible, the beautiful and delicate natural landscape. Several basic criteria will govern allowable development on all sites.

### Building and Site Development Envelopes:

In order to maintain natural drainage patterns, each site will have maximum allowable coverage of impervious surfaces such as roofs and driveways.

The Design Review Committee will establish an area on each lot, the Site Development Envelope (Wooded Highlands) or Site Development Limit (Homestead lots) within which all development must occur, including driveways, terraces, patios, new landscaping and recreation features such as pools and sports courts. All construction activity must be confined to this area as well.

A smaller area within this, known as the Building Envelope, will define the limits of the buildings, including the house, garage and accessory buildings.

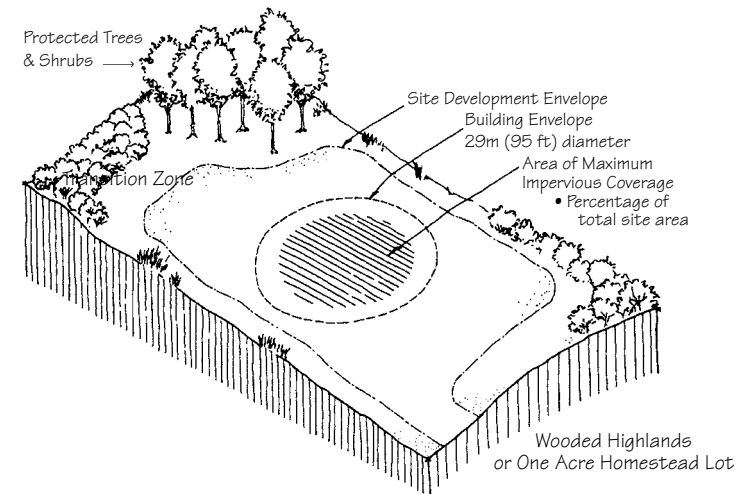
### Building Height and Profile:

Buildings must be designed in scale with their surroundings, and rooflines and other building elements should respect the nearby landforms. Height limits will ensure this.

## Homestead Lands Design Guidelines

The Homestead Lands are gently rolling meadows in the vicinity of Lott Creek and on the upper benches to the west and north sides of Elbow Valley. Some areas retain their natural cover of grasses and shrubs, with occasional stands of aspen. These are important natural features, particularly the trees, and must be preserved.

The medium-sized and smaller lots in this area will accommodate single homes. Minimum habitable building area is 140 m<sup>2</sup> (1,507 ft.<sup>2</sup>).



## Site Design Criteria

### Maximum Impervious Coverage: 40% Building Envelopes:

A Building Envelope will be established for each site individually, based on its particular characteristics of terrain, lot shape, orientation, vegetation, drainage, road access and other factors. On these lots, particularly important plants or other natural features may be designated for preservation by establishing a Site Development Limit.

Setbacks on the Homestead lots are 6m (20 ft.) for both front & rear yards. Sideyard setbacks are 1.5m (5 ft.) on the garage side and 3m (10 ft.) on the house side which ensures generous separations for privacy in living areas of the homes.

New plantings on the Homestead lots should be complimentary to the native Elbow Valley vegetation, and should make a smooth transition to the natural landscape beyond.

### Building Height and Profile:

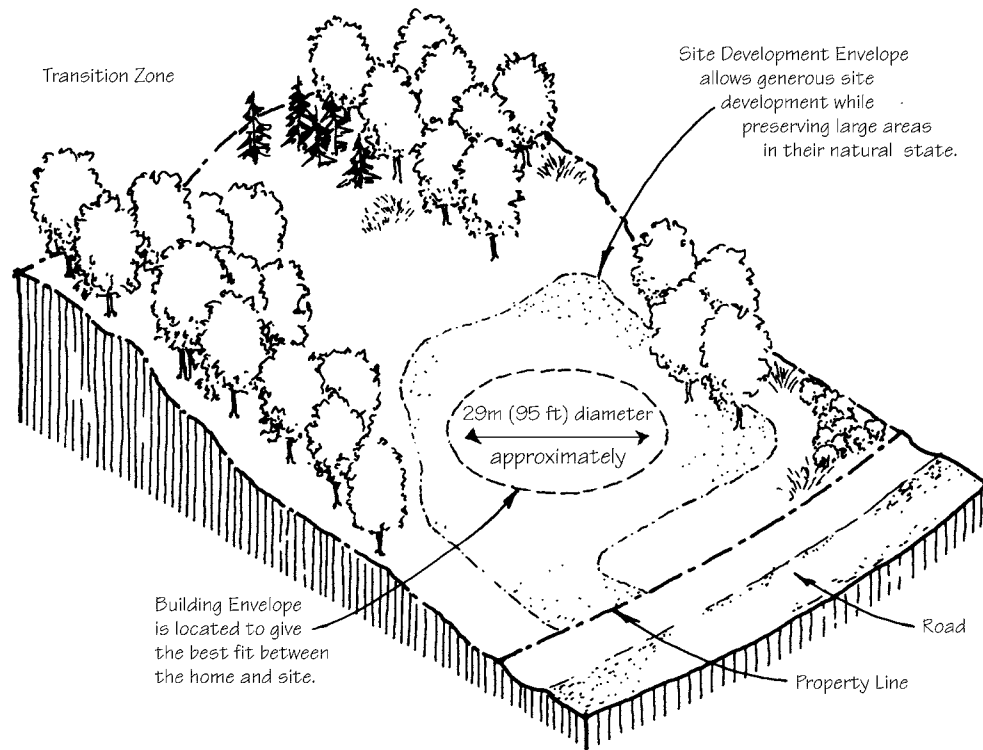
7.0 m (23 ft.) 2 storey - maximum to the eaves, measured from the grade on all sides of the home. Also, maximum roof peak height is 10.67 m (35 ft.), measured as the average of heights from all elevations.

In a two storey home on a walk-out lot as shown below, the upper floor is to be incorporated into the roof.



## Wooded Highlands Design Guidelines

The Wooded Highlands are characterized by steep, sculpted slopes rising from the lower meadows near Lott Creek, and the rolling upper benchlands beyond the hill crests to the south. The hillsides are densely wooded in general, with a mixture of evergreen and deciduous trees. The upper lands have a mixture of aspen stands and more open areas covered by shrubs and some grasses.



Wooded Highlands Lot



## Site Design Criteria

Maximum Impervious Coverage: 20%

Site Development  
and Building Envelopes:

Site Development and Building Envelopes are established for each site individually, based on its particular characteristics of orientation, terrain, vegetation, drainage, road access and other factors. Within these envelopes, particularly important plants or other natural features may be designated for preservation.

Natural flora and drainage must be preserved outside the Site Development Envelope, and no grading or construction may take place.

Clearing of existing vegetation outside the Site Development Envelope is not allowed. However, selective minor clearing, such as pathways, may be approved by the Design Review Committee on a case-by-case basis.

Building Height and Profile:

7.0 m. (23 ft.) 2 storey - maximum to the eaves, measured from the existing natural grade on both the higher and lower sides of the house. Also, maximum roof peak height is 10.67 m. (35ft.), measured as the average of heights from all elevations. Refer to diagram on p.22.

Homes in this area may be more vertical in character. Profiles, particularly the roof forms, must be designed to complement the forms of the surrounding land and vegetation.

## General Landscape Design Guidelines

### Site Improvements

As an owner, you will want to build various structures and site features in addition to your home, such as walkways, terraces, wing walls and planters. Such features can be important elements of the overall design, serving to anchor the building to the site. However, it is essential that they be designed in at the beginning as integral parts of the whole. Poorly handled, they can seriously detract from the appearance of a well-designed house and yard.

This section discusses these site development features, with detailed guidelines for each. The intent is to ensure a reasonably consistent landscape treatment from lot to lot to create attractive and unified streetscapes.

### Access, Parking and Garages

Each lot may have only one driveway entrance, although a second may be allowed by the Design Review Committee in special cases. In general, the amount of paving is to be kept to a minimum. Utility lines must be placed beneath the drives.

Shared drives, with a single curb crossing splitting into separate lanes further into the lot, are strongly encouraged. This reduces paving, facilitates side-entry garages and allows larger yards between houses on the sides opposite the driveways.

Access drives should be designed as unobtrusively as possible. Most importantly, the drive location

must follow the natural contours of the land, curving between trees. On larger, sloping lots, straight runs should be avoided, both to preserve existing features and to maintain a natural appearance.

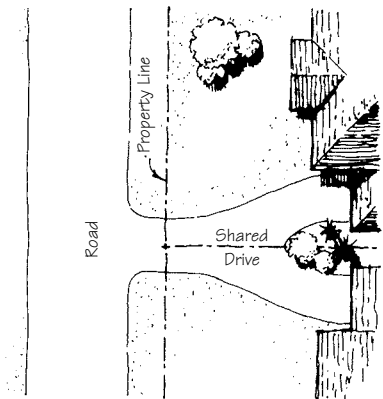
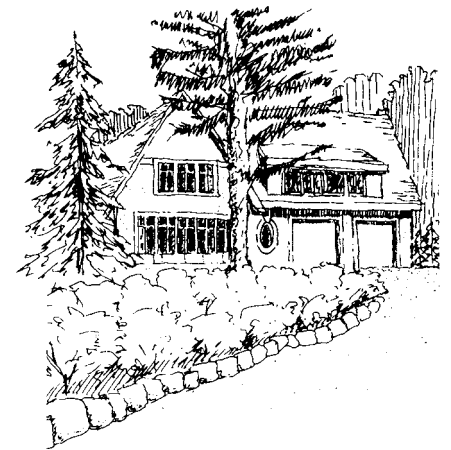
A drive receding into the landscape to a house glimpsed amid trees is more tantalizing than an open tableau.

To reduce runoff, drives must taper to 4 m. (13 ft.) or less beyond the immediate garage parking area. A minimum of two off-street parking spaces shall be provided on the drive within the site development envelope.

At the discretion of the Review Committee, drives may extend a maximum of 0.5 m. (1.5 ft.) into the sideyard setback.

Where drives cut across slopes, a balance between cut and fill must be achieved, and the exposed soil must be rounded and replanted.

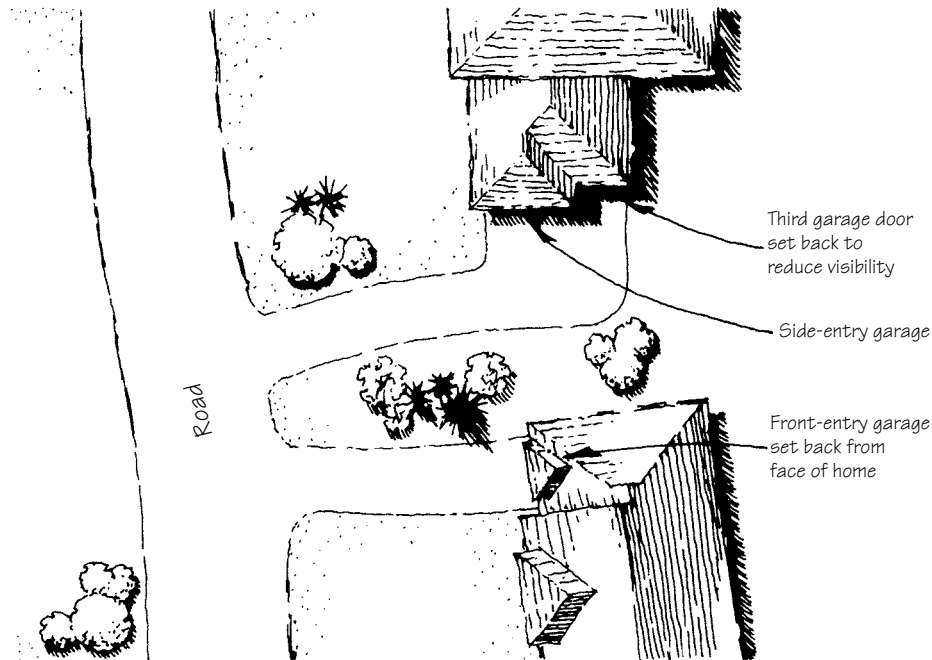
Driveway surface materials may vary, but must be in keeping with the site and the house. The minimum requirements are: exposed aggregate concrete for quarter acre Homestead lots and asphalt for Wooded Highlands and one acre Homesteads. Other options include stone, stamped concrete or brick pavers. Walkway paving need not match the driveway, but should be compatible with it. For example, if the drive is of exposed aggregate and the walk of flagstones, the aggregate should match the stone, and the drive could have a border of the same stone.





Garages must be designed and oriented to reduce direct views. Side-facing garage doors are preferred (a 7.5 m. or 25 ft. turnaround allowance must be provided for a side drive).

Recreational vehicles including boats, trailers or van-sized campers may be stored on the site in enclosed garages, located so as not to be visible from the street. Oversized motor homes and trailers must be stored off-site.



## Grading and Drainage

Our aim in Elbow Valley is to maintain the site's natural landforms and drainage patterns. All roads and individual homesites have been located to minimize the need for grading. With careful design, all sites can be developed with a minimum of disturbance to the delicate natural fabric. This shared goal will benefit all residents.

Wholesale grading simply to make flat building sites will not be allowed. Creative planning and slope-adaptive design, such as stepped floor levels, can both limit site disturbance and result in dramatic interior spaces. Similarly, decks and patios should step up with the natural grades.

Grading, where needed, is limited to the Site Development Envelope. Retaining walls and drainage swales must be designed to meet smoothly with existing grades. Lot grading should follow the natural slope of the land. Slopes steeper than 3:1 will not be allowed.

Drainage issues must be considered from the outset in the layout of the house and site. Excess storm water runoff due to paving and roofs must be retained on site and dispersed using a combination of landscaped ponds, dry wells, and drainage swales.

Erosion must be prevented during construction, by the use of temporary barriers and drainage structures. A detailed Storm Water Management Plan and Erosion Control and Site Management Plan will be provided for the Wooded Highlands following Construction Documents Review. Refer to the Purchaser Handbook for details.



## Landscaping and Vegetation

Plant material can be used to enhance the architecture, define outdoor spaces, frame views and knit structures into the site. These objectives must be kept in mind both in the original site planning - so that the best use is made of the existing plants - and in designing areas of new landscaping. New plantings must be designed to complement the natural vegetation and enhance the new structures.

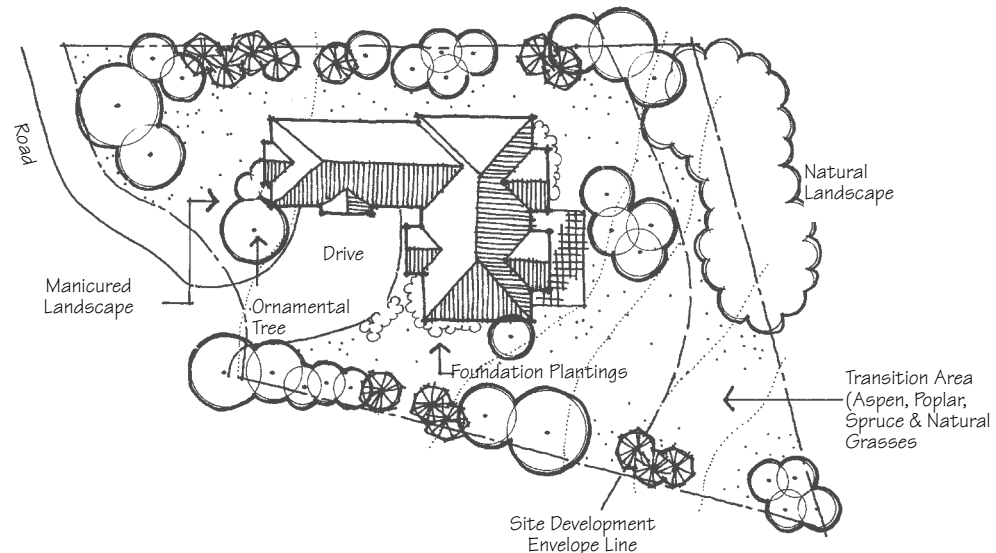
Functional use of plant material should be considered. For example, deciduous trees can provide shade in summer, but allow the sunshine through when the leaves are gone in winter. Evergreen trees and shrubs can screen undesirable views and provide shelter from harsh winter winds. This is a practice with a strong tradition on farmsteads throughout Alberta.

Plants can also add colour and mark the passing of the seasons. Flowering shrubs and wildflowers bloom through the spring, their bright colours standing out against the pale earth. Through the summer the emerging greens of leaves and grass deepen and finally end in a blaze with the coming of fall. Evergreens, of course, add a cheerful note of colour to the white months of winter. In planning your yard you should keep all of the seasons in mind, and use a variety of plants, both existing and new, to make each of them a delight.

As noted previously, agriculture has replaced some areas of native vegetation in the meadows. That which remains is, of course, highly important and

must be preserved wherever possible through careful site planning. All areas disturbed during construction must be replanted to blend with non-disturbed areas. It is important to remember that the natural landscape is fragile, and it will take years to mitigate damage to the site and its native vegetation.

Generally, manicured lawns should be minimized and restricted to the Site Development Envelope. In the transition area outside the Development Envelope, only native plant material listed in Appendix I will be approved. In all cases, the lawns should make a smooth transition to more natural conditions toward the property boundaries. This is particularly important where there is native plant cover on the site. Where existing plants have been disturbed, new



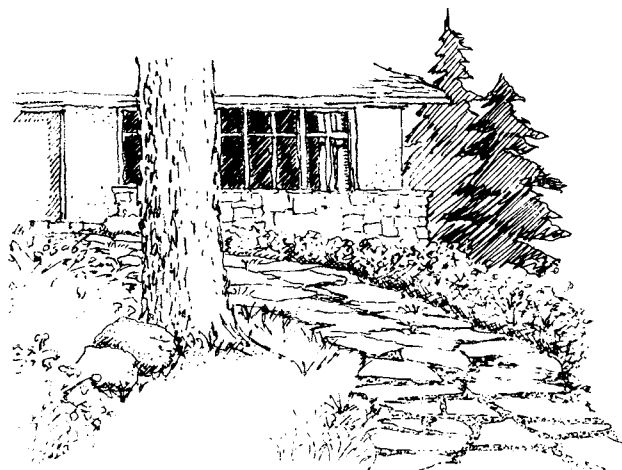


A natural plant group

planting should be consistent with the original flora. Thus, the transition from artificial to more natural planting will be consistent throughout Elbow Valley, and the character of the valley will be maintained.

Areas of new landscaping must be designed to complement and enhance the existing natural features. Selection and placement of new plant material will vary from home to home, but several principles apply to all:

- Plants should be placed so as to enhance the continuity of indoor and outdoor space by creating outdoor “rooms” or framing views (care must be taken, however, not to block other owners’ views);
- Plants should be organized in groupings rather than being planted individually or in straight rows;
- Plants that contrast with the existing vegetation should be avoided - native materials are more appropriate;



Stone walkway pavers

- Site grading should divert runoff water to benefit existing and proposed new plants;
- The use of artificial hard landscaping materials such as concrete or asphalt paving should be minimized. A few well-placed stones can serve very well in place of a concrete walkway, and make a much more attractive addition to the landscape.

The use of native species is important not only because it will maintain the valley’s natural character, but also because such species will need less maintenance and will be more likely to survive.

This does not mean that the yards of Elbow Valley will be uniform or dull. Quite the contrary: as you walk the site you will be delighted by the diversity of colours, shapes and textures to be seen in the natural flora. Creative designers will be able to compose rich, colourful and varied landscapes which will be attractive year-round.

A sensitive landscape plan can contribute to maintaining and rebuilding the natural landscape of Elbow Valley, and is strongly encouraged.

A comprehensive list of native species is included as Appendix I.

Construction and grading operations must not encroach into the driplines of existing trees, so as not to endanger them.

Areas to be left undisturbed must be fenced with temporary fencing prior to any grading or other construction activities.



## Site Features and Fixtures

Outdoor features built into the site serve to enhance the homesite and make a smooth transition between the built and natural environments. They can also make the outdoors more enjoyable by enhancing views, catching the sun's warmth and giving shelter from harsh winds. Site features may include:

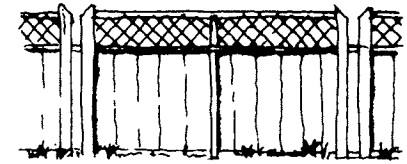
- Courtyards, terraces and decks,
- Privacy walls and fencing,
- Greenhouses; arbours and trellises,
- Swimming pools and spas,
- Sport courts and play structures, and
- Barbecue areas.

These features should be designed to respond to the landforms and other conditions of the site. They should be extensions of the architecture and integrated with the site design as a whole. The goal is to achieve the charm of traditional country houses, where the houses and gardens seem almost to have grown together with the landscape into a natural feature.

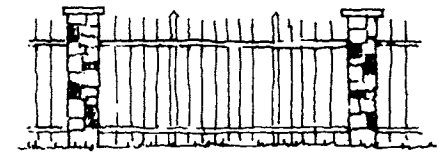
Terraces should be built of materials which match or complement the earth, such as stone or brick, and should be fitted to the existing terrain as much as possible, as well as to the form and materials of the homes.

Ground-level terraces or patios are preferable to large above-ground decks. If decks are indispensable, they must be framed with substantial timbers to avoid a spindly appearance. Stone-faced foundations are recommended. Retaining walls, if needed, must be of natural materials such as stone.

Fencing should be kept to a minimum. With careful design, the proper level of privacy can be achieved by judiciously placed groups of plants. Where fences are needed for safety or security, they must be designed according to the same overall principles as the rest of the site: they must be built of natural materials, such as stone or timber, that are architecturally compatible with the primary structure, and must be integrated with the building and site design as a whole. Where necessary, fences may be up to 1.65 m. (5.4 ft.) high, and more transparent areas (of latticework or screen, for example) are encouraged in the upper portions.



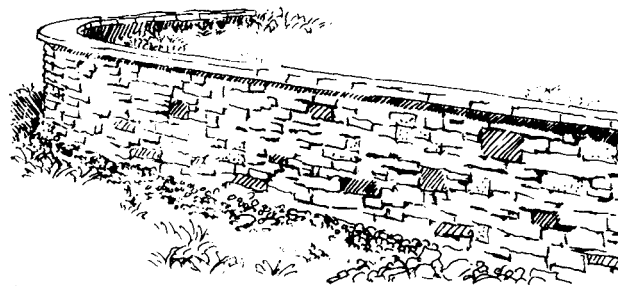
Timber and Board



Stone and Steel



Brick



A stone retaining wall



Front yard fencing shall be limited to decorative fences of approximately 3.6 m. (12 ft.) in length. Privacy fencing may be erected in rear yards only, extending no more than 6 m. (20 ft.) from the rear wall of the home. Fencing to demark property lines will not be allowed.

Each Wooded Highlands and one acre Homestead lot will have a stone entrance feature supplied by Elbow Valley at no cost to the owner.

Chain link fencing is not allowed. Dog runs must be incorporated into the enclosed courtyard or terrace design, or must use an electronic “invisible fence” dog restraint system.

## Courts and Pools

Sport courts and pools may be approved at the discretion of the Design Review Committee. They should be located so as not to be visible from roadways, and well screened by plants.

## Lighting

Outdoor lighting should provide subtle illumination for safety and highlighting of special architectural or landscape elements. Exterior fixtures must not have light sources directly visible from the street or neighbouring properties, and must not produce excessive glare. Soffit lights must be limited to entrances, and walks and drives should have soft down-lights only, provided by ground-mounted fixtures 0.45 m. (18 ft.) or less in height.

Bright illumination such as floodlighting and strong uplighting of trees is not in keeping with the natural character of Elbow Valley, and will not be allowed.

Satellite dishes of 0.65 m. (25 ft.) maximum diameter may be installed in locations where they are as unobtrusive as possible from the street and from adjacent properties.

## Garbage Storage

Garbage must be kept in an enclosure integrated within the form of the house. It may not be placed on the street or stored outside except 12 hours prior to pick-up.

## Panels and Meters

Exterior panels and meters must be indicated on plans at the Final Design Review stage. They shall be located so as to be as unobtrusive as possible from the street and from adjacent properties.





# Architectural Design Principles



## Introduction

We believe that Elbow Valley can inspire the best in residential architecture. You as a new owner have the opportunity to create a home which is a delight to live in and a superb addition to this special landscape. Your decision to live in Elbow Valley is not simply a choice of location. It is a decision to become a part of the rich tradition of life in the Alberta foothills. You and your architect or designer should strive to understand this place and its history, and to create a house that not only meets your needs and aspirations, but reaches beyond, to express a connection with its historical and physical context. Our common goal is an architecture which draws on the best of building traditions, while meeting the needs of contemporary people. Equally important, it must respond to the dramatic natural setting of the Alberta foothills. In short, we seek an architecture that is distinctive, appropriate and harmonious.

These guidelines are intended to help achieve this goal. This section begins with an overview of the historical context - building traditions in the foothills - then goes on to discuss design principles in general and how to apply them in detail.

## Building in the Foothills: A Response to the Land

From the time of the earliest settlement in this area, people have built in the foothills in response to the land and climate. The first, of course, were the native peoples, whose understanding of the natural environment was unsurpassed. Their picturesque encampments, clusters of dwellings in unspoiled valleys, are models of harmony with nature. When Canadian and European settlers arrived in the late 1800's they brought with them a very different tradition of wood-frame building, but harsh winters and scarce resources led most to build farmsteads that had much in common with the native encampments before them. Houses were straightforward, compact structures of plain, readily available materials. Roofs were simple gable or hipped forms, and adornment, if any, was very restrained. The nearby farm buildings - barns, sheds, garages, stables and bunk houses - had the same frank, work-a-day character. Because of the harsh winters, farmsteads were often nestled into the land, sheltering in valleys or in the lee of hills or bluffs of trees. These foothills homesteads had a modest, unpretentious charm which was highly attractive.

With increasing prosperity the farms expanded. New barns and sheds were added, and the



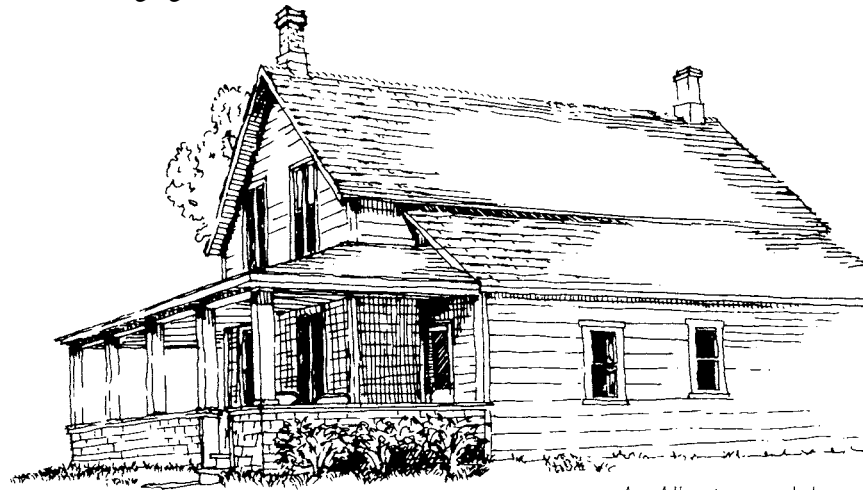
farmsteads grew into loose clusters of buildings set around gardens and farmyards. Houses were expanded or replaced, and new tree belts planted, until the buildings and trees formed a unified whole. However, even as they grew in complexity - with new wings, dormers and porches - the homes retained their original clarity and unstudied appeal.

Some years later, the maturing west drew a greater diversity of architectural styles. Well-to-do citizens often wanted more elaborate houses based on the European heritage. Romantic interpretations of classical, baroque and gothic styles were popular, as well as the Craft movement of architects like Edwin Lutyens and C.F.A. Voysey. Houses in these styles were available through pattern books and catalogues, which offered plans and even ready-made kits. Prairie towns were full of such buildings. The wealthiest ranches, such as Pat Burns' Bow Valley Ranch, led the way, boasting large houses in fashionable styles. However, most ranches continued to have more modest houses.

This line of history gave the foothills quite a range of building types and styles. However, running through this diversity were a number of common threads - shared characteristics which distinguished many foothills buildings and can be used as sources of inspiration of new designs in Elbow Valley:

- Materials were chosen from those at hand on or near the site: stone, river rock, slate, timber, cut lumber and, later, local brick;
- Building forms were compact, in response to the climate;
- Buildings were organized to form sheltered yards;
- Sloped roofs were used to shed snow, with overhangs to protect porches and walks;
- Trees and shrubs were preserved and new trees were planted to provide shelter from cold winds; and
- South windows were large, to collect the winter sun.

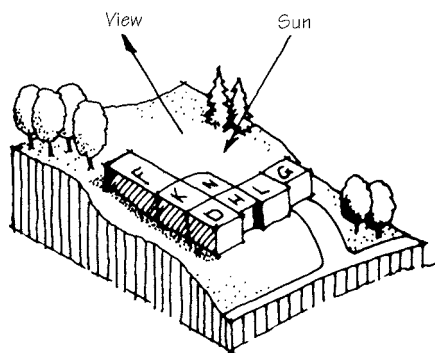
These traditions gave foothills buildings a strong sense of belonging in their natural context. If we remember them, we can create a contemporary community with the same sense of harmony and belonging.



An Alberta ranch house

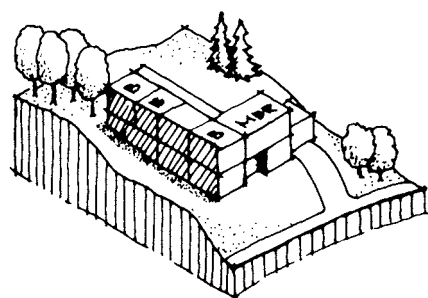




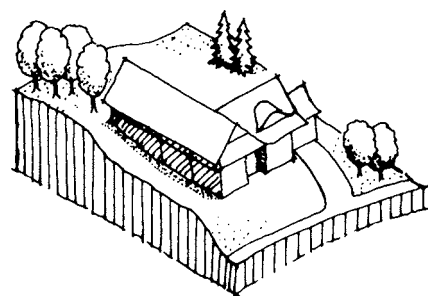


## Design Principles - An Overview Building Form

The first and most important decision you will make in designing your home is its overall form or shape. This decision will depend on two primary considerations: the interior order or layout of the house and its outside shape. To picture this, you may imagine each room as a block. These blocks have different sizes (the living room block will be larger than the bedroom) and different shapes. The way in which the blocks are assembled determines the basic shape of the house. Now imagine that you have a three-dimensional model of your lot, complete with slopes and trees, and you can arrange the blocks on it in any way you want. This is the beginning of the design process.



First consider the interior order of the home. Where should the living room go on the site? Is there a panoramic lake or mountain view you want from the living room window? Where should the dining room and kitchen be in relation to the living room? Can the breakfast nook be placed to catch the morning sun? and where should the bedrooms be?



You must also consider the shape of the house in relation to the site. If it is a deep lot, as many in Elbow Valley are, perhaps the home should be laid out in a "T" or "L" shape to reach back into the site. This is a less compact shape, but it allows for more windows and creates an excellent place for an outdoor patio, sheltered by the wings of the house. If the site slopes, the blocks can step down the hill,

fitting the house form to the landscape and creating dramatic interior spaces. Finally, what will the roof form be, and how will it relate to the blocks beneath and the site as a whole?

This outline of conceptual design is, of course, much simplified. In reality, the rooms need not be simple blocks, but can take on more complex shapes, and they are not simply stacked together, but can be subtly interwoven into diverse, interesting wholes. The important point is that houses are three-dimensional sculptural objects. When placed on their sites, they take their place as part of the landscape. Therefore, each home must be shaped skillfully, with an elegant interior order expressed in an outward form that fits naturally into its setting, with its particular landforms and trees. Buildings in Elbow Valley should complement and harmonize with the natural environment rather than dominating it.

## The Long and the Short View

Seen from afar, only the overall shape of a home can be seen. All detail is lost with distance, and only the bold forms can be seen, in the context of the landscape setting. The fit between building and site is quickly seen.



The middle distance reveals the major elements of the building more clearly. Roofs help to establish the overall silhouette. Walls give a sense of strength, and openings such as doors and windows add rhythm and character. Foundations root the building to the ground. Colours become sharper. The house gains depth, as projecting elements such as eaves, porches and canopies stand out. Equally important, shadows can now be seen, as the clear Alberta sunlight plays across the face of the building.

Closer still – as you enter the driveway – the details become clear. Bricks and tiles become separate elements, along with window and door trim, stone paving and landscape plants. The textures of the materials, and the relationship of their colours can be seen.

Your home must be designed with all of these perspectives in mind. As much care should be given to the design of details in relation to the home as a whole as to the overall shape in relation to the site. The entire design, including building and site, should form a unified whole.

Further, homes must be designed with all views in mind. Those on the upper promontories will be seen both from below and from the street in front, while those on the lower Homestead lots will be seen from all sides and from above. Therefore, all elevations must be designed to be attractive from any point of view.

## Proportion

Together with the overall shape of the home, the most important attribute of a successful design is its proportions. Proportion is the relationship of the sizes of different parts of the building one to another and to elements of the site. A building is said to be well-proportioned if the parts relate to each other in a harmonious way. It is easy to judge when a building is out of proportion, as when the roof is so large that the walls appear barely able to support it, or when a huge entry arch dwarfs the door beneath. However, it is much more difficult to set out rules to guarantee good proportion. Much has been written about this by some fine architectural minds over the centuries. In fact, it is not an exact science. The various proportioning systems do help in giving a sense of order that all parts of the house belong to the same “family” of proportions. In the end, a great deal rests on the skill of the designer. Fine proportions take effort and judgement. The initial design must be refined and adjusted repeatedly to achieve the proper harmony.

Proportion applies at every scale. The building must not appear too large for its site. It must fit comfortably, without feeling crowded and without overpowering the land that supports it. At a smaller scale, all parts of the building should be designed with a sense of proportion to one another.



*A well-proportioned home*



## Materials and Details

As discussed in the Landscape Design sections, the use of natural materials for both landscape elements and the home itself can give a strong sense of belonging between the home and its natural environment.

Fortunately, Elbow Valley offers a wealth of opportunities. Rocky outcrops and the stones and gravel of riverbeds suggest stone masonry for foundations, walls and landscape elements. Some man-made materials such as brick, concrete and stucco have the same natural earthen quality. These are also suitable, but should be used so as to complement the natural materials on the site.

Wood is also highly appropriate because of its natural character and its deep historical associations. As with rock, it is available in many different forms and may be used in many different ways, both in the home and the yard. In addition, it may be used for both structure and trim.

Walking through Elbow Valley you will be struck by the rich variety of surfaces and textures in the landscape. Bare earth and rock by the riverbank give way to the soft, waving surfaces of the summer grass. Straight stands of poplar trees contrast with dense, gnarled clumps of willow. Designing your home and yard, you should explore this diversity to see how they can incorporate some of the same natural vitality.

Colour, too, should be taken from the site itself. A wide range of earth tones can be found, as well as attractive, muted shades of green, blue, and yellow. The valley landscape is also highlighted by brighter colours throughout the year: wildflowers in summer, turning leaves in the fall and the bright stems of some shrubs in winter. The result - bright accents against the more muted background of greens and browns - is very attractive, and can inspire the choice of colours in new homes.

River Rock



Wood



## What is Appropriate?

Finally, a note on appropriateness. The landscape of the Alberta foothills and the ranching communities that grew in it look the way they do because of the particular natural and historical forces in play at the time. If we understand these we can create a new community that fits. If we forget, we can jeopardize the special character of this place.

Whimsical French chateaux, Roman Villas and Arizona pueblos are not appropriate here. These were developed in different places in response to different climates and landscapes. While historical styles are welcome in Elbow Valley, they must have a true historical connection, and they must be designed with true understanding and conviction.

Equally, a sense of restraint is essential for all buildings. The traditional communities we find so appealing, and whose spirit we want to recreate in Elbow Valley, are usually composed of a series of quiet, unassuming houses. These may well be large, but they are executed in a modest, dignified way. Graceful massing, elegant proportion and economy of detail carry the message. These houses speak softly, but they speak with authority. Nothing destroys this mood more than a streetful of loud, ostentatious houses, each demanding more attention than its neighbour.



*A historic house – architect, C.F.A. Voysey*





# Architectural Design Guidelines



## Building Form

The diverse landscape of Elbow Valley invites a rich variety of homes. The rolling, well treed slopes of the Wooded Highlands call for buildings nestled into the land. Here homes should be placed carefully to fit the existing contours and vegetation. They should step down, using split-level and multi-level floorplans. On the open Homestead sites, lower forms are encouraged with an emphasis on the horizontal lines. Upper floors should occupy smaller footprints than main floors and should be set back or articulated to reduce their apparent height.

Visual interest and variety should be achieved through:

- expression of interior functions in outward form, and



A house in harmony  
with its setting

- building elements such as eaves, covered porches, projecting bays or chimneys which add depth and create interesting shadows.

## Viewpoints

All points of view must be considered in designing homes. All walls and the roof must be designed with equal care and attention to detail. Proportions and design elements must bear clear relationships to one another on adjoining walls, and materials must be carried around in some way for continuity. Each of the four faces will, of course, be different, but all must have the same standard of design and finish. Details must be designed with as much care as the overall shape to form a unified whole and complement the site.

## Variety

Homes with substantially the same plan and elevation will not be approved.

## Plan

Interior layouts should be clear and logical, as well as creative, to provide:

- efficient functional organization and circulation,
- well considered views through and out of the home,
- a careful integration of interior rooms and exterior landscape features.



## Proportion

All parts of the building, from the overall form to the smallest details, should be designed with a sense of proportion to each other.

The roof should be designed so as not to appear too large or heavy for the walls. Steep roofs or very thick eaves can give this appearance.

The primary orientation of the home - vertical or horizontal - should generally be carried through the details, except where a contrary gesture is made for aesthetic effect, such as a bold chimney rising from a long, low house.

Entries must be designed to be in proportion to the actual door. Two-story arches or canopies will not be allowed.

Wall openings should be of a number and size appropriate to the wall surface, and they should be organized in an orderly way.

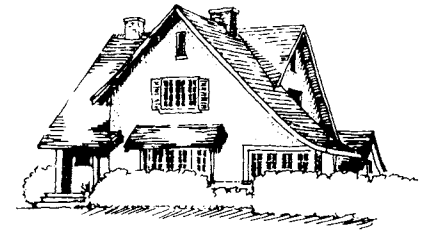
A rule of thumb sometimes stated is that wall openings should constitute significantly more or significantly less than 50% of the total wall surface. However, this is only a very rough guideline, and cannot substitute for a careful analysis through elevation drawings.

## Roofs

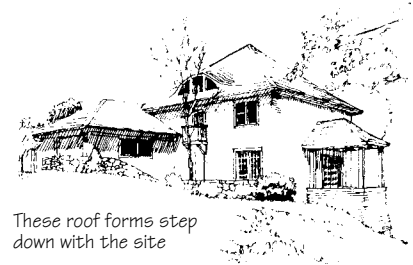
The roof is usually the largest single element of the house, and it must be creatively designed. The roof form is determined by the plan of the house, the angles from which the house will be viewed and the surrounding landforms and trees.

Steeply pitched roofs are generally well-suited to sites with tall, dense tree cover, whereas lower-pitched roofs with broad overhangs are appropriate for flatter, more open sites.

Elements such as dormers, overhangs, chimneys and skylights can add considerably to the visual interest of the roof, but they must be designed as integral parts of it, and not as obtrusive add-ons. Also, an element of restraint is important. Facades with many oversized turrets or gables facing the street tend to look ostentatious. More linear roofs are preferable, with gables and projections reserved for important elements such as front doors. Mansard and Gambrel roofs are not allowed.



*A complex roof adds to the charm of this traditional home*



*These roof forms step down with the site*



*The gables and porches of this house recall traditional ranch houses.*





A front porch with a stone foundation



A generous porch

## Foundation Facings

Foundations finished with strong, durable materials such as stone anchor the house firmly to the site. Parged concrete is acceptable provided the area of stepped parging is kept to a minimum. Projecting wing walls, stairs, walks or planters can make an attractive transition from building to ground, but must be well integrated with the building design as a whole.

## Porches

Porches and entry garden walls add depth to the house and increase the sense of integration with the landscape, especially if built of natural materials. Porches should have sturdy timber or masonry structures, and areas underneath should be enclosed with wood or masonry skirts to present a solid appearance.

Front porches are very much encouraged for all homes. They add a welcoming appearance, and invite socializing among neighbours. If included,

they must be a minimum of 1.8 m. (6 ft.) in depth in order to be truly useful.

Glass rails are allowed, but must be enclosed in wood where they are visible from streets, parks or other public spaces.

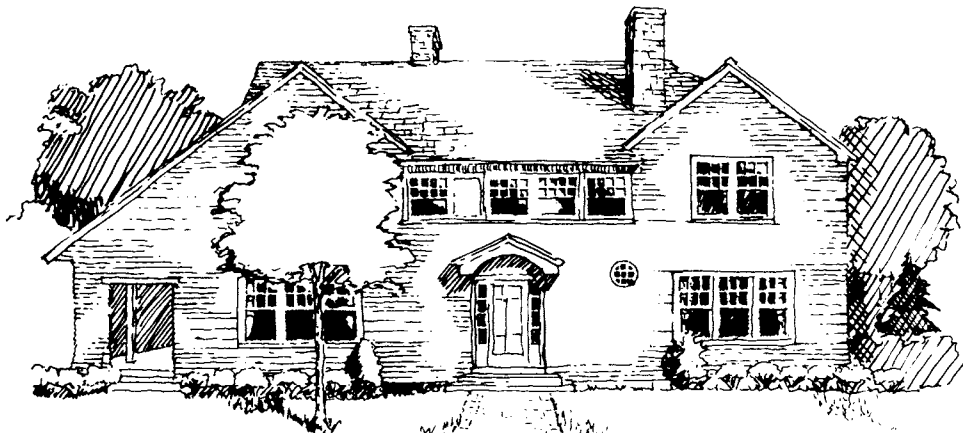
## Walls and Openings

The walls provide support and must be designed with an appearance of strength. Masonry and wood, both with natural load-carrying ability, give a visual sense of strength. Alternatively, walls can be made more transparent (with large windows) if there is support in the form of sturdy, regularly spaced piers of stone or timber.

Doors and windows provide visual interest and rhythm to a house, and project a sense of warmth and welcome. However, care must be taken in the number and placement of openings to provide a balanced and integrated appearance. If too many shapes or types are used, the wall can look cluttered and awkward.

The intent in Elbow Valley is to portray windows with the authenticity of traditional true divided lites. Decorative window grilles between the glass are acceptable, provided they are 3/8" minimum in width. A variety of finishes are available, however, decorative window grilles between the glass in white and polished brass are not permitted.

Windows without additional trims require brick mould sizes to be 2 1/4" minimum in width with 1 1/4" sashes.



A well-balanced and restrained façade





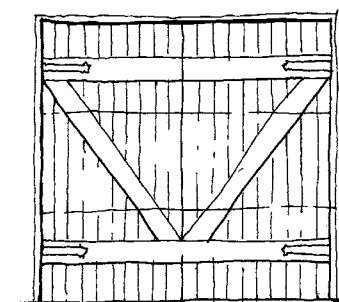
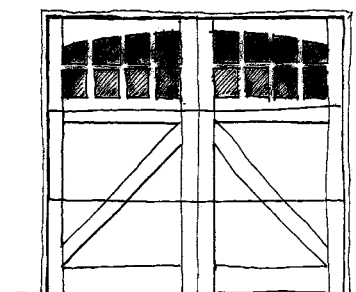
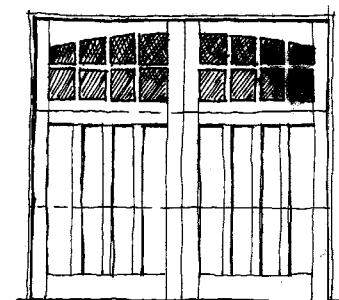
## Garages

Garages must be designed so as to appear clearly subordinate to the homes. We envisage Elbow Valley as a community of warmth and welcome, and homes which present front doors and windows to the street convey this image very well. On the other hand, streets lined with blank garage doors are its very antithesis.

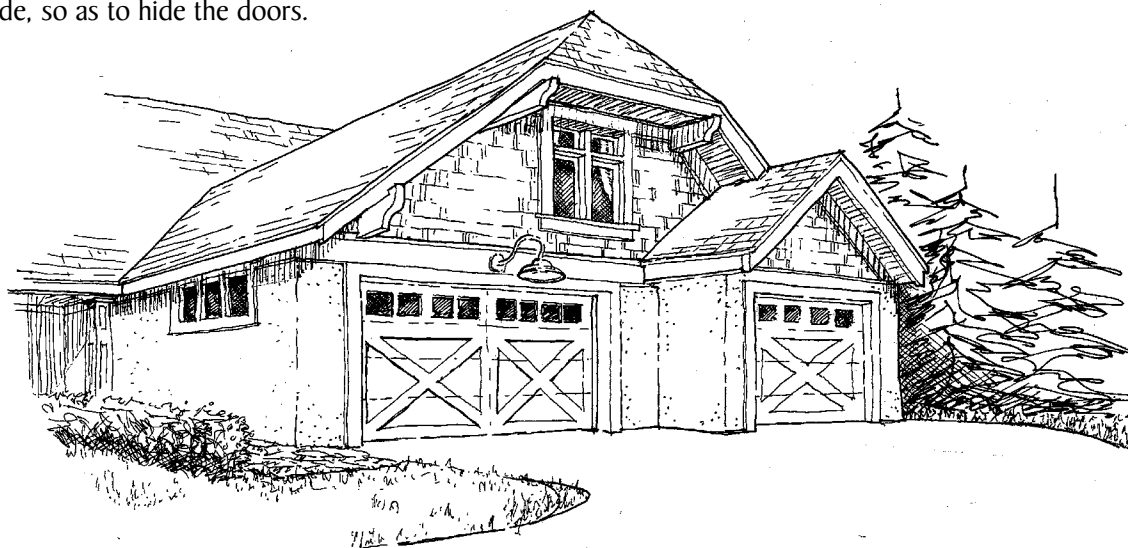
To achieve this goal, various approaches can be used:

- The garage should be incorporated with the house, as a separately articulated, identifiable form.
- Site permitting, the face of the garage should be set back beyond that of the house (in other words, further from the street).
- Where the site allows, the entry should be from the side, so as to hide the doors.

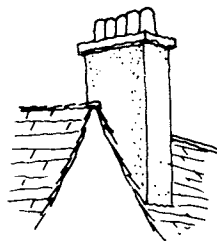
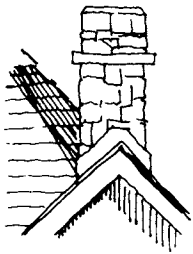
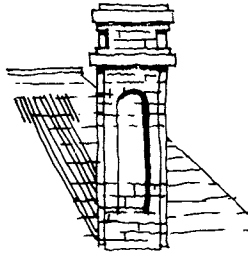
- The garage should have architectural details to complement the character of the home.
- Triple or larger garages facing the street are discouraged. If more than two garage spaces are needed, the doors must be set back on a different plane, or a separate garage may be placed behind the house.
- Garage doors may be one-piece or sectional, and should have details compatible with those of the house (frame-and-panel or other construction, with windows as appropriate) and should be clad and finished to match the house. Windows in the garage doors should be of a traditional appearance to match the character of the home.



Many attractive



## Chimneys



The hearth is perhaps the strongest image of home. It speaks of warmth and security. The chimney is the outward symbol of the hearth, so it is a very important element of a house. Traditionally, the chimney was a heavy masonry structure projecting from the foundations straight up through the roof, anchoring the house to the ground. Chimneys in Elbow Valley should be designed with this image clearly in mind. They should be substantial in proportion and built to give the proper appearance of strength and stability. They should also extend down to the ground, with appropriately sturdy foundations. Windows over or under chimneys are not appropriate.

Stone, brick or stucco are appropriate materials, and wood cladding may be used if this is the predominant material of the building. Creative shapes and chimney caps are encouraged, provided that they suit the overall design theme of the home. Metal flues of prefabricated fireplaces are too slim by themselves, and should be enclosed in more substantial chimney structures.

Where gas fireplaces are used, top-vent models are much preferred. If side-vent units are used, the vents must not be placed in prominent locations, such as streets and public lands.

## Materials

The selection of materials and finishes is critical to the proper sense of fit between the house and site. Natural materials, particularly those available locally, will go a long way toward achieving the goal of bringing a unique regional flavour to the homes of Elbow Valley. Further, over time such materials weather gracefully to increase the sense of belonging – as though the house and site have grown together.

Locally available stone has a rich tradition in southern Alberta. Many fine examples of sandstone, river rock and rundle rock masonry can be found in Calgary's older houses. Cut stone has an appearance of permanence and formality. Accents or details of stone can be used successfully together with brick. Rounded river rock or field stone, available in a rich variety of colours, have a less formal, cottage feel and are often used in the landscape for garden walls or wing walls extending from the architecture.

Stone was traditionally laid in many different ways ranging from the straight, formal lines of coursed ashlar to the more irregular patterns of random rubble. The exposed faces could be cut smooth or left in their rough, natural state. Each pattern has its own character, some refined and others rustic. The particular stone pattern used should be chosen to contribute to the overall design theme of the house and the character of the neighbourhood.



Brick offers a warm, earthen quality very much appropriate to the Elbow Valley landscape. It is available in a wide variety of colours and textures, but care should be taken to select one which complements the native colours. When you have chosen a brick type, take several to the site and look at them against the landscape.

Stucco is also a suitable material. A rough “dash” or machine-sprayed natural surface is preferred, but other rough finishes may be approved by the Design Review Committee. Trowelled patterns, pressed-in pebbles or glass are not permitted.

Stone and brick can be used effectively together, and stucco with stone or brick accents can be very attractive. However, where materials are combined, restraint must be exercised to avoid a cluttered appearance.

Wood cladding also has strong roots in foothills building traditions. Many a ranch house in Alberta was built with clapboard or shiplap siding. Today wood is available in a wide variety of profiles and sizes, and in textures ranging from refined to rustic. Again, the choice depends on the context and the design theme of the home. Generally a horizontal orientation is preferred, but vertical application may be allowed if the site or the design intent warrant .

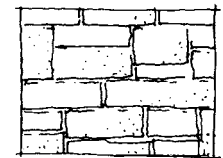
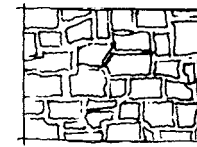
Cedar shingle siding also has an attractive character, either alone or in combination with another

material. Artificial vinyl and aluminium siding, despite valiant efforts, lack the natural quality of wood, and are not appropriate to Elbow Valley.

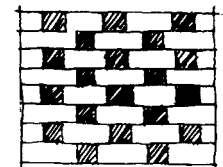
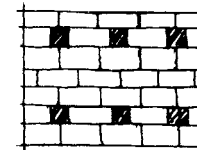
We encourage you to explore the wide variety of new maintenance-free materials now available. Products such as ceramic and concrete roof tiles, factory-treated wood siding and fibre-composite exterior siding panels are attractive and offer years of maintenance-free service.

Roofing materials choices include slate or flat concrete tiles, wood shakes and asphalt shingles. Corrugated ceramic or metal tiles and pine shakes which do not offer the same quality or durability as cedar, are not permitted. Asphalt shingles must be upgraded architectural design, 25 year minimum. 3-Tab design asphalt shingles will not be permitted. To portray a traditional style roof, upgraded architectural ridge caps are encouraged.

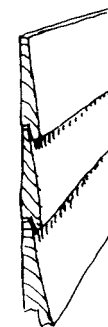
Materials should be chosen with consideration of their natural aging. Materials such as wood and stone can gain additional character and beauty as they weather naturally over time, thus adding a sense of grace to the house.



Many traditional stonework patterns may be used



Brick may also be laid in many traditional patterns.



Wood siding has a long history in Alberta



## Details

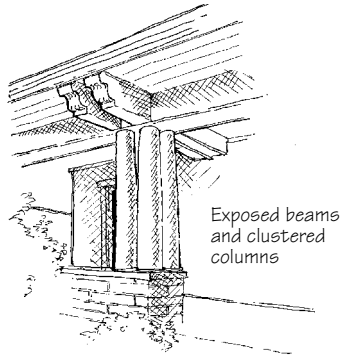
Details must be designed to add a level of visual interest and richness to the structure.

Details must be true to the nature of the material. For example, masonry is solid and able to carry heavy loads. Traditionally, masonry walls were thick, with arched openings. New masonry walls should conform to this appearance. Stucco block outs as accent trims are not allowed.

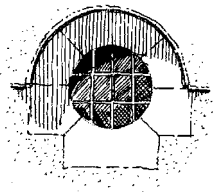
Wood is more versatile. It can be assembled into intricate frames or cut into boards of various shapes to cover large areas. Look at the traditional ways of building for inspiration as to appropriate details.

Handcrafted details are very much encouraged. Traditional methods of metalwork, carpentry or stone carving can add a delightful personal touch to a home.

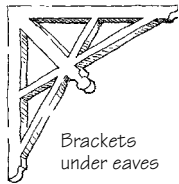
Brick or stone "wainscoting" extending above the foundations on exterior walls is not a traditional building detail. If used, it must be very restrained in character and well proportioned in relation to the other elements of the wall. It must not protrude beyond the surface of the cladding above.



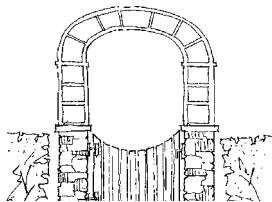
Exposed beams  
and clustered  
columns



Window in stucco wall  
with stone or tile trim



Brackets  
under eaves



Garden gate

Rainwater leaders must be carefully located so as to blend inconspicuously with the body of the house.

Electrical meters shall be located so as to be out of view from the street, and recessed or concealed.

## Colours

Homes are encouraged to have a sense of belonging with regard to colour. Colours should be drawn from the site itself – earth, rock, trees and water, enlivened by the brighter colours of autumn.

Homes in Elbow Valley should have contrasting body and trim colours. Strong colours tempered by the natural tones of materials is preferred. Consideration must also be given to enhancing the architectural details found on the home.

Care must be taken in colour selection as not to duplicate neighbouring homes. Variety is encouraged with the knowledge that street rhythm is ultimately important. Repetition of the same roof colours more than two in a row will not be allowed.





## Recommended Reading



## Architectural Design Principles

Architecture Form, Space and Order, Francis Ching, Van Nostrand Reinhold, 1979

A Pattern Language, Christopher Alexander

## Home Design Philosophy

The Place of Houses, Charles Moore, MIT Press

Home - A Brief History of an Idea, Witold Rybczynski

House, Tracy Kidder

## Historic Home Design

Modern Architecture in Alberta, Trevor Boddy, 1987

The Craft Architects, Margaret Richardson, 1983

C F A Voysey, Wendy Hitchmough, Phaidon, 1995

Homes & Interiors of the 1920's, Lee Valley Tools, 1987

## Contemporary Home Design

Robert A. M. Stern Buildings and Projects 1981 - 1986, Luis F. Rueda, 1986

Robert A. M. Stern 1987 - 1992, Elizabeth Kraft, 1992

Dissecting the American House, Philip Langdon, Progressive Architecture magazine, October, 1995

Color - Natural Palettes for Painted Rooms, Donald Kaufman and Taffy Dahl

## Landscaping

The Calgary Gardener, Calgary Horticultural Society

Gardening Under the Arch, Millarville Horticultural Society

Natural Landscaping, Sally Roth



Perennials for the Prairies, Edgar W. Toop and Sara Williams  
Trees and Shrubs of Alberta, Kathleen Wilkinson  
Woody Ornamentals for the Prairies, Hugh Knowles  
Redesigning the American Lawn, A Search for Environmental Harmony,  
F. Herbert Bormann, Diana Balmori and Gordon T. Geballe, Yale, 1993  
Landscape Design A Practical Approach, 2<sup>nd</sup> ed., Hannebaum





# Appendices





## Appendix I: Native Plant List

### CONIFEROUS TREES

#### Botanical Name

Picea glauca  
Picea pungens  
Pinus contorta latifolia  
Pseudotsuga menziesii

#### Common Name

White Spruce  
Colorado Spruce  
Lodgepole Pine  
Douglas Fir

### DECIDUOUS TREES

#### Botanical Name

Prunus pensylvanica  
Betula nigra  
Betula papyrifera  
Populus balsamifera  
Populus x 'Brooks #6'  
Populus deltoides  
Populus tremuloides  
Prunus virginiana melanocarpa

#### Common Name

Pin Cherry  
River Birch  
Paper Birch  
Balsam Poplar  
Brooks #6 Poplar  
Plains Cottonwood  
Trembling Aspen  
Chokecherry

### CONIFEROUS SHRUBS

#### Botanical Name

Juniperus communis  
Juniperus horizontalis  
Juniperus sabina  
Juniperus scopulorum  
Pinus mugo pumilo  
Pinus mugo mugo

#### Common Name

Common Juniper  
Creeping Juniper  
Savin Juniper  
Rocky Mountain Juniper  
Dwarf Mugo Pine  
Mugo Pine



## DECIDUOUS SHRUBS

### Botanical Name

Amelanchier alnifolia  
Arctostaphylos uva-ursi  
Cornus stolonifera  
Elaeagnus commutata  
Ledum groenlandicum  
Lonicera involucrata  
Potentilla fruticosa  
Prunus pensylvanica  
Ribes alpinum  
Ribes hudsonianum  
Ribes oxycanthoides  
Rosa acicularis  
Rosa woodsii  
Rubus idaeus  
Rubus pubescens  
Salix bebbiana  
Salix discolor  
Salix exigua  
Salix glauca  
Shepherdia canadensis  
Symphoricarpos albus  
Symphoricarpos occidentalis

### Common Name

Saskatoon  
Bearberry  
Red Osier Dogwood  
Wolf Willow  
Labrador tea  
Twinberry Honeysuckle  
Shrubby Cinquefoil  
Pin Cherry  
Alpine Currant  
Wild Black Currant  
Wild Gooseberry  
Prickly Rose  
Common Wild Rose  
Wild Red Raspberry  
Dewberry  
Beaked Willow  
Pussy Willow  
Sandbar Willow  
Smooth Willow  
Russet Buffaloberry  
Snowberry  
Buckbrush



## Appendix 2: Restricted Plant List

Certain species are not approved for Elbow Valley, including purple-leaved species or species with growth patterns not appropriate to the natural setting.

### Botanical Name

Betula pendula  
Caragana arborescens  
Malus x 'Royalty'  
Populus Tremula 'Erecta'  
Prunus x cistena  
Prunus Virginiana 'Schubert'  
Populus x canescens 'Tower'  
Salix pendula

### Common Name

Weeping Birch  
Sutherland Caragana  
Royalty Crabapple  
Swedish Columnar Aspen  
Purple-leaved Sandcherry  
Schubert Chokecherry  
Tower Poplar  
Weeping Willow



## Appendix 3: Design Approval Forms

The following forms are provided to help you through the design approval process. There is one form for each of the stages of approval: Concept Design Review, Final Design Review and Construction Document Review.

For your convenience, each of the forms has a checklist of materials to be submitted, in order to ensure that your applications are considered and dealt with fairly and quickly.

Normally the architect or builder will make the application on your behalf as the owner.

However, you are welcome to make submissions if you wish. If there are particular points you would like the Mgr. U.D.A. or the Design Review Committee to consider about the design, please bring them to the attention of the Mgr. U.D.A. at the time of the application.

If you have any questions about the approval process, the application forms or about your particular site or home, the Mgr. U.D.A. will be happy to discuss them.



## CONCEPT DESIGN REVIEW FORM

Date: \_\_\_\_\_ Lot/Phase: \_\_\_\_\_  
Owner: \_\_\_\_\_ Phone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Architect/Designer: \_\_\_\_\_ Phone: \_\_\_\_\_  
Address: \_\_\_\_\_  
Builder: \_\_\_\_\_ Phone: \_\_\_\_\_  
Address: \_\_\_\_\_

This application will be considered complete when all of the following have been submitted:

- ☐ Conceptual Site/Landscape Plan at a scale of 1:250 (Wooded Highlands) or 1:200 (Homesteads) showing property lines, setbacks, contours, general site grading and slopes, all proposed buildings, drives, walks, patios, decks and other outdoor features and existing vegetation;
- ☐ Schematic Floor Plans for all levels (4 copies);
- ☐ Schematic Elevations for all four sides (4 copies);
- ☐ Perspective sketch of the most prominent view (4 copies); and
- ☐ If requested by the Design Review Committee, additional perspective sketches or a Site Massing Model at 1:250 (Wooded Highlands) or 1:200 (Homesteads) showing the overall shape of the proposed building and its relationship to the landforms, trees and other landscaping, both existing and proposed.

Submittal Date: \_\_\_\_\_ Meeting Date: \_\_\_\_\_

Submitted by: \_\_\_\_\_

Design Highlights / Customer Profile: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_



## FINAL DESIGN REVIEW FORM

Date: \_\_\_\_\_ Lot/Phase: \_\_\_\_\_

Owner: \_\_\_\_\_ Phone: \_\_\_\_\_

This application will be considered complete when all of the following have been submitted:

- ☐ Site Plan at 1:250 or 1:200 showing property lines, setbacks, land contours and key elevations (with any proposed changes), all proposed buildings, driveways and walks (noting widths and slopes), patios, decks, other outdoor features, existing and proposed new trees and shrubs and any vegetation to be removed (4 copies);
- ☐ Floor Plans for all levels (4 copies);
- ☐ Elevations for all four sides (4 copies);
- ☐ Two typical Building Cross-Sections (4 copies)
- ☐ Perspective sketch of the most prominent view (4 copies); and
- ☐ If requested by the Design Review Committee, a Site Massing Model showing the overall shape of the proposed building and its relationship to the landforms, trees and other landscaping, both existing and proposed.
- ☐ Materials and Colour Samples, including all stone, wood, brick or other exterior material with any proposed finishes, window and door frames with glazing, roofing materials, trim materials and colours and paving materials for walks, drives, terraces or other surfaces.

Submittal Date: \_\_\_\_\_ Meeting Date: \_\_\_\_\_ Notice Date: \_\_\_\_\_

Submitted by: \_\_\_\_\_

Design Highlights / Customer Profile: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_



## PROPOSED EXTERIOR MATERIALS AND FINISHES

Date: \_\_\_\_\_ Lot/Phase: \_\_\_\_\_ Submitted By: \_\_\_\_\_

Owner: \_\_\_\_\_ Phone: \_\_\_\_\_

Exterior Building Element	Material	Manufacturer	Colour	Sample Provided
Roof surface				
Wall surface				
Accent wall surface				
Foundation				
Trim (corners, etc.)				
Window frames				
Window trim				
Chimney				
Soffit				
Fascia				
Eaves troughs				
Rainwater leaders				
Porch/deck surface				
Porch/deck railing				
House doors				
Garage doors				
Driveway				



## CONSTRUCTION DOCUMENTS REVIEW FORM

Date: \_\_\_\_\_ Lot/Phase: \_\_\_\_\_

Owner: \_\_\_\_\_ Phone: \_\_\_\_\_

Submitted by: \_\_\_\_\_

- ☐ \$10,000 Construction Compliance Deposit (Builder)
- ☐ Builder's Construction Insurance
- ☐ \$2,500 Landscape Compliance Deposit (Homeowner)
- ☐ Site Plan (5 copies) at 1:250 or 1:200 indicating any adjacent structures, and showing:

- Site dimensions
- Property lines
- Building Envelope and Site Development Limit or Envelope
- Existing and proposed contours and spot elevations
- Easements and encroachments
- Corner points of all buildings with elevations
- Top of footing elevations
- Top of joist elevations
- Decks, patio and walkway locations
- Fencing and entrance walls
- Utility connection locations
- Electrical meter locations
- Existing vegetation
- Driveway and parking locations
- Sidewalks, patios and covered porches
- Accessory site developments
- Fencing and retaining walls
- Exterior lighting

- ☐ Construction Documents (finished working drawings) (5 copies) including:
  - Foundation plans
  - Building floor plans
  - Building elevations
  - Building sections (minimum 2)
  - Roof Plan
  - Details
  - Mechanical and Electrical plans
  - Materials and Colour Samples





## LANDSCAPE REVIEW FORM

Date: \_\_\_\_\_

Lot/Phase: \_\_\_\_\_

Owner: \_\_\_\_\_

Phone: \_\_\_\_\_

Landscape Architect: \_\_\_\_\_

Phone: \_\_\_\_\_

☐ Landscape Plan (4 copies) at 1:200 (Homesteads)  
or 1:250 (Wooded Highlands) showing:

- Site dimensions
- Property lines
- Site Development Limit or Envelope
- Easements and encroachments
- Existing and proposed contours  
and spot elevations
- Buildings
- Accessory buildings and structures
- Driveway and parking locations
- Decks, patios and walkways -  
locations and materials
- Fencing and decorative entry walls -  
locations and materials
- Retaining walls and materials
- Exterior lighting
- Existing vegetation
- Trees to be removed
- Proposed new plant locations
- Species, quantity and size of proposed  
new plants
- Manicured and natural grass areas
- Irrigation system

- Storm water management features, according to the  
approved Storm Water Management Plan, incorporated  
into the landscape design.
- Erosion control features, according to the approved  
Erosion Control and Site Management Plan, incorporated  
into the landscape design.

### Design Highlights / Customer Profile:

---

---

---

---

---

---

---

---

---

---

